

SECTION 3: DEVELOPMENT STRATEGY

3.1 General Objectives

All development proposals shall have regard to Kildare County Development Plan 2005—2011 in the first instance and shall also have regard to the Celbridge Development Plan 2002.

The objective of the Plan is to create a strategy for the extension of Celbridge town centre eastward by the development of the Donaghcumper lands. The strategic location of this land, separated by the Liffey from the backlands of the Main St. creates an important opportunity to significantly extend the town centre while retaining the character and scale of the existing town. A vital part of this strategy is how to make a connection between the Main St. and the new development.

In addition to the above, underpinning the development strategy of this Action Area Plan are a number of general objectives. These have been developed from a study of the area, consultation and research into appropriate case studies, including study visits of European town expansion developments in waterside contexts:

- * That Celbridge Town Centre—comprising the existing Main Street / Mill Street area and the town centre extension area—is a vibrant, pleasant, comfortable and safe place for all those who live in, work in and visit the place.
- * That there are easy and clear connections between the existing town centre and the new developed areas with good permeability – in particular for pedestrian and cycle users— between all areas and within the larger new development areas.
- * That the area accommodates a broad mix of uses, giving a social, economic and cultural diversity and ensuring that the population of Celbridge has greater local access to and choice of places of work, shopping, leisure, culture and living.
- * That the AAP area provides a range of public spaces which are easily accessible and well linked, are well designed for sun, shade and wind, that by design and the careful siting of appropriate uses to enclose them they are both active and safe and, that through the appropriate choice and detailing of materials, landscaping, lighting, etc., these spaces possess pleasant characters and will last well over time.
- * That development within the AAP, in particular development of the Donaghcumper lands, has regard to its relationship with Castletown and that the internationally significant historic landscape of Castletown, including views, riverside landscaping, tree planting, boundary treatments, watercourses, etc.—and which extend beyond the existing Castletown Estate boundaries— are protected appropriately.
- * That the detailed design and site layout of the larger areas of new development within the AAP Area, maximise opportunities for reduced energy demand due to passive design, through choice of location, building form and orientation, making best use of daylight, controlled natural ventilation, insulation and airtightness. In addition new developments shall, where appropriate avail of renewable energy technologies, including potential for local generation of energy, rainwater recycling, and design and management of waste storage areas shall take account of the increasing requirements for recycling.
- * That the architectural form of any new development within the AAP area balances high quality contemporary architectural expression while respecting the existing urban context in terms of scale, massing, proportion and urban grain. While new development in the Donaghcumper lands may propose greater building heights than the existing Main Street, there shall be an overall coherence between new and existing and the impact on the quality of public space enclosure should be a prime generator of building height and form.
- * The large new development areas including the Donaghcumper lands shall achieve an architectural diversity, while maintaining overall coherence, as is typical of traditional Irish town centre and that architectural gimmickry is avoided, rather a timeless quality is achieved which is supported by material specification and detailing which acknowledges the processes of decay and weathering throughout the building's life.
- * That underpinning all development proposals within the AAP is the objective to minimise the environmental impact.
- * That design, layout, residential mix base and floor and open space area provision of new residential developments facilitates sustainable homes which ensure a well integrated social mix, provide ample storage facilities – both internal and external— ensure high quality of natural light internally, maximise 'own' door 'off-street' entrances and provides well considered solutions for waste storage, both inside residential units and in shared bin storage areas, externally.

3.2 Strategies

What Type of Place

All the following strategies are aimed at ensuring that Celbridge Town Centre and the Donaghcumper Lands are developed as a pleasant, comfortable and safe place where a range of activities take place including living, working, education, leisure, culture, shopping and which help diversify the use mix base of the town which has seen predominantly residential development in recent years. This place should be easy to access—in particular by foot and by bicycle—and easy for all to use.

Public Spaces Strategy

This addresses the repair, consolidation and improvement of existing spaces and the development of new public spaces.

The strategy is to produce a network of public spaces of different physical and functional character which are linked by streets and paths which are also considered as public spaces.

Where in an urban context, the form, height and use of enclosing buildings should be designed to ensure active uses at ground level, passive and active surveillance of the public realm throughout the day, orientation for sun and shade, careful siting of public seating areas, with simple and robust street furniture which will not dominate visually, is comfortable and will last well over time.

The separation between public and semi-public/semi-private zones should be designed to ensure visual and physical barriers recede and gated complexes are avoided.

The AAP has identified a number of key public spaces as follows:

Existing Main Street/English Row Area (Ref. Map 6: Public Spaces Strategy)

The Main Street is an important civic thoroughfare which broadens as it approaches the entrance to Castletown House. This is the urban ‘heart’ of Celbridge and, while recent environmental improvements upgraded the pavements, a further scheme of enhancement should be implemented. The quality of the street is greatly undermined by the impact of the car and initiatives which reduce this without creating significant negative impacts elsewhere in the town should be explored. Public realm improvements should include a rationalising and reduction of poles along the main street, undergrounding of services and a programme of single—indigenous - species tree planting. The implementation of these works should precede, or run in tandem with, commencement of development within the new Town Centre extension at Donaghcumper.

As part of future public realm improvements to Main Street, there are a number of places which have the potential to become attractive public spaces. These include the area around Castletown Gates, the forecourt to the Catholic Church—which is presently used for car parking and the spaces around and within the Celbridge Mills complex, which are again compromised by their current use for car parking. These spaces, carefully handled, would add to the overall character of the historic town centre. In particular, the public spaces within the Mills complex—including those fronting onto the river—have the potential to be a major civic space for Celbridge and a counterpoint to Castletown and Donaghcumper.



Fig 3.1: Well sited seat at Castletown Gates—sunny aspect, shelter and view towards active street-life



Fig 3.2: Well detailed public space in historic urban centre (Utrecht, Holland). Good quality materials, contemporary design.



Fig 3.3: Successful threshold between public and semi-private realms does not require high walls, fences and locked gates (Stockholm)



Fig 3.4: Semi-private spaces in primarily residential area (Stockholm—well landscaped with soft edges between public and semi-private realms



Fig 3.5: Good detailing at threshold between public (pedestrian) route and commercial uses. Opportunities created for pleasant incidental seating/rest areas

Fig 3.6: Boundary between public realm and private open space successfully achieved by small change in level and combination of high quality low stone wall and soft hedge planting.



Donaghcumper Lands—Riverside

The Celbridge Town Plan sets out the objective to protect the eastern bank of the River Liffey for Open Space/Recreation. Due to flooding and topography, new development should be set back from the river edge, thus allowing a riverside walk to be created. Such a walk is included in the Liffey Valley Management Plan and will also facilitate the protection of the important riverside landscape associated with the Castletown Demesne. The character of this area should be natural—with existing planting and designed landscape features retained and supplemented. A number of carefully designed areas providing close access to the river—for sitting, fishing and potentially access to boating should be provided along this route. Opportunities exist to provide access to the water for water sports including rowing, canoeing, kayaking and the construction of a well designed boathouse, would be acceptable, on the strip fronted by the new town centre extension.

Donaghcumper Lands—Town Centre Extension

Rather than create a single formal space, there is the opportunity here to make several public spaces of varying form and personality. In developing a layout for this area, regard shall be given to the topography of this part of the lands, which offers potential to add a distinctive character to these spaces. Children's playgrounds could be incorporated within these spaces.

The schematic plans set out in Map 7 shows how a range of spaces can be created. It is critical that these spaces are well connected by primarily pedestrian and cycle links which will ensure a well permeated town centre. This approach to create a network of well linked spaces achieves a number of associated objective also—generally the urban block is broken down to a more familiar scale, which thus increases the area of external frontage and maximises opportunities for active street frontage. It also creates more external surface area which facilitates increased natural lighting, passive ventilation, and solar gain for building interiors.

The character of the different spaces will be formed by the uses which give onto these spaces, especially at ground floor level, and the careful design of the threshold between uses/spaces will ensure sufficient levels of privacy/separation, without restricting permeability.

Donaghcumper Lands—Designed Landscape Parkland

This large area zoned amenity/open space measures 12.1 hectares, lies between Donaghcumper House and the River Liffey and has recently been transferred to the ownership of Kildare County Council. The objective of this zoning is to protect, provide for and improve open spaces for amenity of recreational purposes. Kildare County Council is working closely with the OPW to formulate a policy on the maintenance and management of the landscape on both sides of the river.

The County Development Plan 2005-2011 includes this area within the protected area relating to Castletown /Donaghcumper Demesnes and regard should be had to the impact on the architectural and landscape heritage –including the protected views- of these lands which any new development and/or alteration/adaptation of existing structures and landscapes might have (ref. Map 4). As such, a planted buffer zone is to be provided between both the new town centre development and the parkland landscape; and between the new residential development and the parkland landscape. A boundary/railing is to be provided and access controlled also.

It is recommended that a more detailed plan be prepared for the parkland in conjunction with the OPW, which will establish an appropriate buffer boundary treatment and define principles for development which adjoins the designed landscape parkland.



Fig 3.7: Timber boardwalk within natural waterside planting (Stockholm)



Fig 3.8: Well detailed incidental public space within residential complex (Malmo)



Fig 3.9: Timber seating/decking area cantilevered over water (Stockholm)



Fig 3.10 (above) and 3.11 (below): well detailed public area landscaping with high quality materials and planting (Malmo).



Kildare County Council has as a shared objective with the OPW 'to restore as far as practical the integrity of the Castletown Demesne, to preserve for future generations one of the most important houses in Ireland and one of significance in terms of European architectural heritage'. The study by Dr Finola O'Kane Crimmins & Dr John Olley indicated the extent to which the adjoining demesnes, including Donaghcumper, were an integral part of the original 18th century designed landscapes. It is envisaged that Donaghcumper lands recently transferred to the ownership of Kildare County Council will form a part of that objective. Possible pedestrian linkages by bridge or by ferry will be considered in that context.

The Strategy document *Towards a Liffey Valley Park* developed jointly by The Office of Public Works, Dublin City Council, Fingal County Council, South Dublin County Council and Kildare County Council identified seven Flagship Projects. That for Kildare states "The site for a future public park is about to be acquired by Kildare County Council in the former townland of Donaghcumper. The development of this public park will, endorsed by this strategy brings with it the added opportunities to create river based linkages with the historic estate of Castletown"

Donaghcumper House Area

Donaghcumper House is not presently included on Kildare County Council's Record of Protected Structures, however it is recommended that it be added and any development of the house and associated outbuildings, gardens, etc., within its curtilage must be carried out in a manner which does not compromise the integrity of its architectural heritage significance. Suitable specialist advice will be required to develop appropriate proposals.

The complex of historic structures already comprises a number of fine spaces of varying character which contribute to the setting and character of Donaghcumper House, and any development proposals should seek to retain and integrate these. These include the formal garden to the front (south-west) which addresses the proposed new Town Park, the front forecourt area to the House, the walled garden and the 'street', the oblong shaped 'courtyard' formed by the stable and outbuildings.

The wooded area to the south-east of the House should be retained as an informal space, it may be appropriate to provide some development in here, slotted in amongst the mature trees. However, surviving designed landscape features should be retained.

It is recommended that a detailed architectural historical and landscape appraisal of Donaghcumper House and Demesne be carried out in advance of design proposals and that this study should be used to inform appropriate development proposals.

New Residential Quarter

While this area will be more private than the other parts of the AAP area, by virtue of the single use zoning, the site layout of the low density housing should seek to make spaces which are comfortable and suitable for walking, cycling and playing.

The lands zoned amenity/open space, described above, continues between the residential zoned land and the river and shall be treated as such. The residential development should be designed with care in its relationship to this zone. The residences will benefit not just from proximity to this element of the designed landscape parkland, albeit via controlled access. But also will benefit from proximity to the entire Castletown Demesne. There should be pedestrian and cycling links made between this housing development and the new town centre without recourse to the amenity lands. It should not be necessary for residents to drive down the Dublin Road in order to avail of the town centre facilities, nor to enter and exit the parkland.



Fig 3.12: Existing landscape at Donaghcumper House—area to be designated as Town Park



Fig 3.13: There are several mature trees within the Donaghcumper House lands which are to be protected as part of the Town Park.

Advance and intense landscaping—with suitable indigenous plant species - of the new residential quarter should be implemented to ensure it is well screened to reinforce the 'housing in a woodland setting' concept.



Fig 3.14: Range of outbuildings to Donaghcumper House which form a 'street' character and should be integrated within any redevelopment of this important architectural complex.



Fig 3.15: The fine formal garden to Donaghcumper House is to be protected and integrated within any new use. This garden will form an important edge to the proposed Town Park.

Landscaping

Landscaping proposals should be developed in conjunction with overall masterplanning. Designs should take account of the prevailing character of each area/space and issues of micro-climate, seasonal changes. Differing approaches to landscape will influence the character of spaces being formed.

Soft planting schemes will vary depending on location:

- * the Riverside area should adopt a simple approach, reinforcing existing native species
- * the existing town centre/Main Street is suitable for restrained formal single-species tree planting with possibly one or two carefully located indigenous specimen trees, notably within the public space to be formed at the Mills
- * the town centre extension comprises a series of spaces, public and semi-private. The more public spaces are likely to be primarily 'hard' in landscape character with indigenous specimen trees planted in strategic locations and the semi-private/residential courtyards should contract with a generosity of soft planting. Consideration is to be given to planting requirements and selection of appropriate and imaginative designs where over underground parking—which is likely to be the primary condition
- * The Designed Landscape Parkland zoned Amenity/Open Space and Donaghcumper House landscapes should build on the existing character, reinforcement rather than reinvention.
- * The low density residential area should be intensely planted with native trees, hedges and shrubs which will act as a visual foil to the houses. An advance programme of planting should be implemented prior to construction.

Underpinning all landscape proposals should be the objective to retain and augment

Public Spaces

Responsibility for the public realm is likely to be shared by both local authorities and private developers and this needs careful planning and co-ordination to ensure quality and coherence of the public spaces is achieved.

The appearance, maintenance and presentation of public spaces, footpaths, streets, amenity areas, etc., are a vital aspect of civic design quality. The public areas are often overlooked and detract from high standards achieved by individual properties. It is important that any improvements or additions are carried out in a sensitive manner. Unsightly poles and wires, obtrusive traffic and parking and damaged footpaths all create major difficulties and make a town less friendly for residents and visitors alike.

Public lighting should consider the quality of lighting appropriate to the area. Light fittings should be kept simple and unobtrusive. In some instances, e.g., a new public space, innovative lighting schemes can extend the use and enhance the overall character.

The provision of combined information panels instead of a clutter of individual notices is more effective and less visually obtrusive. In general, too many signs in a town can compete with each other.

Road markings should be kept to a minimum. Soft yellows and narrow lines should be used where possible. Car parking spaces could be marked out with colour contrasting paving units rather than with harsh white lines.

The incorporation of artwork within the developments is to be encouraged. There are many ways of incorporating art, through physical works or other schemes, artists in residence, commissioning other artforms – music, literature, film etc. In addition, opportunities to include artists at the design stage of certain projects should be pursued.



Fig. 3.16: An example of public lighting that fulfils the requirements of both vehicular traffic and pedestrians while utilising only one pole. Note the successful matching of scale with the trees.



Fig. 3.17: The visual clutter of signposts and advertisements detracts from what could potentially become a pleasant incidental public space.



Fig. 3.18: Road markings can be visually obtrusive. If possible the use of more narrow lines and/or lighter colours should be investigated.

The introduction of street planting and seating should be very carefully considered in terms of place making. Orientation of seating, shelter, shading by planting, nearness to traffic, suntrap potential, possibility for observing street life, etc., are all issues to be considered. Selection of plant species/street planting should take account of tree heights, spread, leaf size, colour through the seasons etc., and be made in consideration of their impact on the area and the desired effects to be created. Indigenous species should be used and, in general, single species should be planted to create an overall uniform effect, particularly in more formal urban spaces. Where using hard landscaping good quality materials should be specified. Avoid over fussy detailing and overuse of different materials/colours.

In advance of any large new developments, a structure for the management, maintenance and transfer of the public spaces is to be agreed with Kildare County Council as part of an overall Masterplan strategy (ref. Section 4 Design Considerations and Standards).

Movement and Connections Strategy

New Links between Main Street and Donaghcumper Town Extension area

It is very important that any new development at Donaghcumper is properly connected to the Main St. in order to establish an easy transition from one commercial area to the other. This will ensure the extension of the existing town rather than the creation of two distinct and separated town centres. Given the layout of Celbridge along the bank of the Liffey, this important link will necessitate new river crossings.

It is envisioned that up to two or three river crossings would be made between the existing town centre and the town centre extension area.

The most critical link, and that which shall be prioritised, is a pedestrian / cycle link which would be made by creating a minimum 4-6m wide new walkway leading from the Main St., ideally utilising an existing gap site, through to the river and crossing to the eastern bank. The bridge should be generous in width for comfortable use by both pedestrians and cyclists and should facilitate Universal Access. It will be an important element in the future structure of Celbridge town. The new walkway should be appropriately designed as a positive addition to the town, a point of interest or an event, a new civic space, that will be a pleasure to use. The design should reflect its symbolic importance as a 'bridge' between the historic and new town centres. It should be well lit and landscaped and have adequate natural surveillance to remain a safe place at all times during the day and night. The movement strategy plan (Map 7) indicates two such pedestrian bridges which would be desirable as they would reinforce the connection between existing and new.

A possible form which the route from Main Street to this new bridge might take would be a one-sided walkway with small shops/kiosks on the northern side, opening onto a pleasant south-facing landscaped route, which can also provide a sheltered seating area. Certainly, this route will open up opportunities for a mix of uses to be developed along it, thus giving functional ballast to these connections.

This proposed walkway and bridge(s) would be considered to be a special use of a backland area, forming as it does a perpendicular axis to the Main St. However, it is not suggested that the development of backlands of all premises in such a manner would be appropriate or is necessary. The traditional linear layout of the Main St. should be retained and should only be punctuated at specific points, providing expression onto the Main Street of the activity taking place at the rear.

The second link proposed is a vehicular connection between Main Street and the new town extension area which would involve a new river bridge. The link is included as an objective, T1 Objective, in the Celbridge Development Plan and is considered necessary to ensure a viable and successful connection between these two parts of Celbridge. The vehicular route would run as a continuation of the slip road at the north-eastern, Castletown Gates, end of Main Street and would connect with the Dublin Road towards the eastern end of the town centre extension area, at the current controlled junction. This is considered an important link and will require sensitive design, in particular with regard to the various impacts of a new bridge in this area. This new route shall be designed as a two-way local distributor street to the new town centre area and not a priority 'through route' and its alignment shall reflect this objective. Further, as a street, it shall be primarily formed by mixed use buildings along its edge containing active, non-residential, uses only at ground/street level. On the existing town centre side the selected alignment of the route and its landscaping and detail design, should minimise its impact on the architectural character of Castletown Gates and the adjacent

protected structures, To achieve this, some encroachment on the grounds of the adjacent presbytery may be required. The design of the new bridge crossing should seek to minimise the size of structural elements to assist in reducing its visual and physical impact.

While it is acknowledged that this new street will help to reduce the traffic impact which exists in the Main Street at present, it will not provide an inner relief route for Celbridge.

The pedestrian and vehicular linkages between the existing and new town centres should be carried out in the first development phase of the Donaghcumper lands and should be delivered as part of any planning permission to develop the Donaghcumper lands..

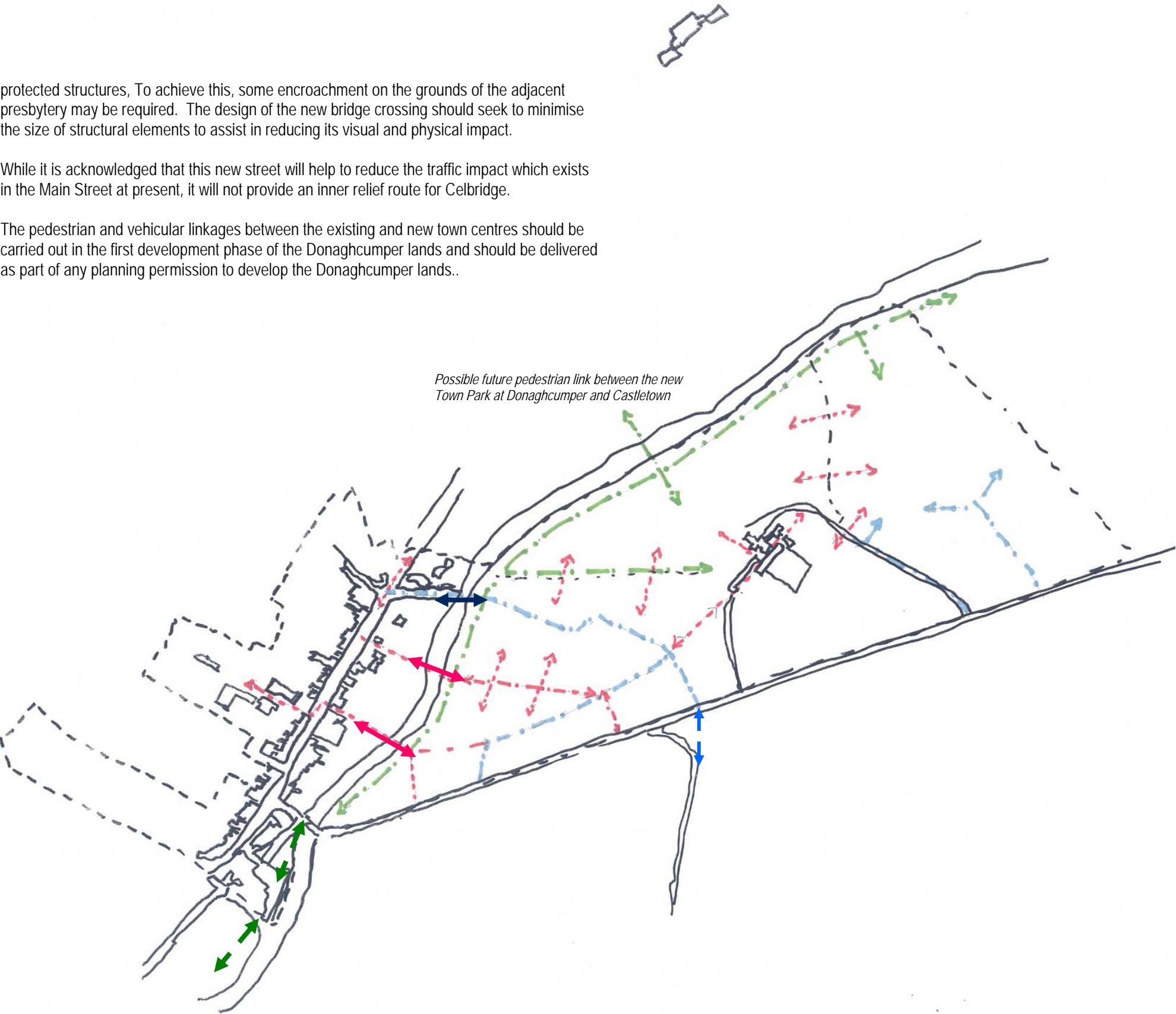


Fig 3.19: Well designed pedestrian/cycle bridge (Stockholm)

Map 7 : Movement and connections Strategy

Map 7: Linkages / Connections map

Riverside walk route

Pedestrian / cycle routes

Vehicular—car, bus route

Proposed two-way River Bridge—vehicular/pedestrian/cycle

Proposed River Bridge—Pedestrian/cycle (approximate locations indicated on map)

General Strategies for Pedestrian / Cycle Links

- * All new roads and routes within the AAP area are to allow for safe and comfortable use by pedestrians and cyclists. It is preferable that dedicated cycle ways be formed, however these should be integrated within the overall landscaping of the public realm.
 - * In designing new layouts, pedestrian priority should be given in terms of desire lines, road crossing points, etc.
- Existing Town Centre Area
- * It shall be an objective to improve conditions for pedestrian and cycle users of the main street. This will be achieved by ensuring pavements are maintained for comfortable use, provision is made for safe and frequent road crossings, calming of vehicular traffic and provision of conveniently located bicycle parking. While there may be limited opportunities to provide dedicated cycle paths within the existing town centre, calming of traffic will assist in improving the conditions for cycle use.
 - * There may be opportunities, with further development in the town centre, on both sides of the Main St., to extend and improve pedestrian and cycling movement between the centre and adjacent housing areas. For example, the Celbridge Development Plan refers to the possibility of St. Brigid's School relocating. Were these lands to be developed, there may be an opportunity to create better pedestrian movement in an east-west direction, crossing the Main St and onwards via a new river crossing towards Donaghcumper.

Universal Access

- * Universal access principles are to be implemented in the design and detailing of all movement networks throughout the AAP area
- * An integrated approach to designing for universal access should ensure minimal separation between different users.
- * The layout and design of the network of public routes within the New Town Extension should accommodate the existing changes in level in such a way that allows for maximum accessibility. The design of the new river crossings and links with the existing town centre must also address this objective.

Vehicular Movement

General

- * This is an urban area and vehicular traffic should be restricted to low speeds. In new developments, the layout of roads and building lines should incorporate pinch points, avoid long straight stretches and include other devices that encourage traffic calming, rather than designing ramps and other applied traffic calming paraphernalia which is more difficult to integrate visually.
- * In the quieter residential areas, it may be possible to design for shared road surface use and this should be encouraged where it can be achieved safely as it will help achieve a calm environment.



Fig 3.20: Shared surfaces working well—Malmö



Fig 3.21: Conveniently located bicycle parking—Copenhagen

Servicing

- * Servicing must avoid conflict with the more active public spaces and the quieter residential areas. Side lanes, small inner courtyards and servicing from underground can be provided to accommodate service vehicles.
- * Restrictions on permitted hours for servicing may be introduced.

Public Transport

- * The AAP proposes a bus route within the Town Centre Extension to include a minimum of 2no bus stops. Route and bus stop locations will be agreed as part of a more detailed masterplan.

Parking

- New Town Extension
- * Underground parking shall be prioritised in order to maximise the ground level spaces for pedestrian priority active uses (refer to Public Spaces Strategy).
 - * Any surface parking should be integrated into public space strategy, well landscaped, etc
 - * Provision of public parking in the New Town Extension should address the current under provision of parking in the Existing Town Centre area and the difficulties here in improving this situation.
 - * Parking around Donaghcumper House should be well screened from the protected structures and avail of the mature planting setting
 - * Provision will be required for some parking to serve the Town Park, it should preferably be located close to the proposed new link road to the existing main street as part of the Town Centre parking

Healthy Routes

- * In designing the circulation layout, in particular for the Donaghcumper Demesne lands, consideration will be given to providing pleasant walking, jogging and cycling routes of differing distances. These should be clearly legible and signposted. Such routes, in addition to providing a pleasant environment for necessary journeys within the area, will provide a variety of exercise circuits. Connections to existing and potential future similar routes outside the AAP area should be provided for.



Architecture and Form

Existing Town Centre

Given the unique character of Celbridge town and its particular importance in relation to Castletown House, the objective of any development within the existing town centre should be to retain and consolidate its historic fabric i.e., that which largely lends this character to the town. Thus, the guiding philosophy behind the AAP is one of retention, restoration, consolidation and improvement, where necessary, of the existing building and townscape fabric in a manner which respects its special character.

Facade retention only is not usually appropriate and the building should be considered as a whole. Innovative conversions are to be encouraged. Where it is not practical to retain a building, proper drawn and photographic records should be made before any demolition takes place.

All developments within the historic centre may be subject to an archaeological survey. As in all historic towns and cities, buildings should not be treated in isolation. Insensitive changes to individual buildings as well as inappropriately designed new houses can destroy the overall character of a street.

In carrying out any conservation or refurbishment work, the DoEHLG Conservation Guidelines should generally be followed and relevant expertise sought. It should be noted that any work to a protected structure will generally require planning permission and consultation with the Heritage Council and the DoEHLG.

The commercial centre of Celbridge along the Main St. with its variety of uses and building types is a significant aspect of the town's character. It is important that the good quality traditional buildings are retained and maintained in good condition. Any improvements to the shopfronts should take into account the upper floors and vice versa. It is not necessary for new shopfronts to be "pseudo-traditional" in character. Simple modern style designs may be more appropriate, which respect the shapes, proportions and rhythms of existing buildings in the street.

The AAP will encourage the improvement/restoration of buildings/facades/shopfronts which may have been altered in the past.

With regard to new buildings within the historic centre, they should generally reflect the scale, form, proportion, and grain of the existing buildings. A limited palette of good quality materials should be chosen with consideration given to their performance over time.



The architectural principles of small Irish towns and buildings are as follows:

- adherence to a general uniform street line with occasional minor variations;
- two and three storey buildings, occasionally higher at focal points, e.g. corners and for important public buildings;
- vertical proportions to window opens on upper floors, in contrast to a more horizontal expression at street level, particularly in the case of shops and commercial buildings;
- roof lines are varied and dark in tone, arising from the traditional chimneys and the widespread use of slate as a roofing material;
- external walls are generally rendered and painted with occasional use of dressed stone, brickwork and timber detailing.

There is no need to slavishly copy older buildings, indeed pastiche is to be avoided. New buildings should be contemporary in expression and conform to the general characteristics outlined above. It is recommended that appropriate professional advice and expertise shall be consulted

Town Centre Extension

- * Careful attention should be paid in all developments within the new civic centre to place making. All buildings and schemes should relate to one another in terms of scale, materials and orientation. The spaces between buildings are commonly what creates the character of a town. Hierarchy of expression should be appropriate to use and location of development, for example public buildings, buildings onto main public spaces, building onto more low-scale, quieter residential courtyards, all suggest specific approaches. Necessary and relevant professional expertise and advice should be consulted to ensure the best results. All development should aspire to high quality, sustainable architecture and building construction applying passive design principles.



Figs 3.25: Well presented shopfront, Athy.

Figs 3.21, 3.22, 3.23 & 3.34: Variety of architectural expression on Celbridge Main Street

- * It is important that attention is paid to the relationship between street width and building height.. The activities at street level should be taken into account when considering this issue, as should the potential impact on Castletown House.
- * Legibility will be very important in creating a successful civic centre with a character and identity of its own. All developments should be considered in relation to the area as a whole and this area should be easy to understand and have a recognisable and coherent urban grain.
- * This can be achieved by establishing common building heights and building lines which would only be breached in certain, considered circumstances, e.g. to create an informal public space or at corners. Pedestrian desire lines around and through the site can help locate appropriate routes and views. The streetscape should unfold gradually as one moves through it..
- * Notwithstanding the above, architectural diversity should be encouraged—overall coherence can be achieved through scale, proportion, spatial connection, while the architectural expression of buildings can be quite varied. To achieve such diversity in large schemes, developers are to be encouraged to engage a number of design practices working to an overall masterplan.
- * No single building/scheme should be considered in isolation. Attention should be paid to connections to other parts of the area, e.g. pedestrian links and roads. The treatment of boundaries and edges of sites is of major importance. Developers should agree to the provision of connections to adjacent sites. The site edges should not be treated as boundaries. Walled-in and fenced-in developments should be avoided in order to create an overall sense of community.
- * New buildings should be designed with a view to their appearance and performance over time, both in terms of the processes of weathering and decay and in the avoidance of transient stylistic trends.
- * Gimmicky and pastiche—be it historic or contemporary in expression is to be avoided.
- * The historic boundary wall onto the Dublin Road makes an important contribution to the architectural and environmental character of the area, in particular the section between the gate lodge/main entrance to Donaghcumper House and the entrance to the Equestrian Centre. This should be retained. The section closer to Celbridge appears to be of different construction and age and it may be appropriate to remove sections of this wall to facilitate the formation of a built and active street edge onto the Dublin Road. However, this should only be permitted if backed up by a comprehensive architectural conservation assessment of the wall and subject to creating a genuinely active and high quality street edge. Opportunities to integrate sections of the existing wall into new development should also be addressed.
- * While it is desirable to retain the wooded area at the southern end of the town centre extension area, development here may be appropriate subject to high quality architecture and provision of fully accessible links through this area onto the Dublin Road and provision made for continuing the riverside walk to the adjacent bridge and beyond.



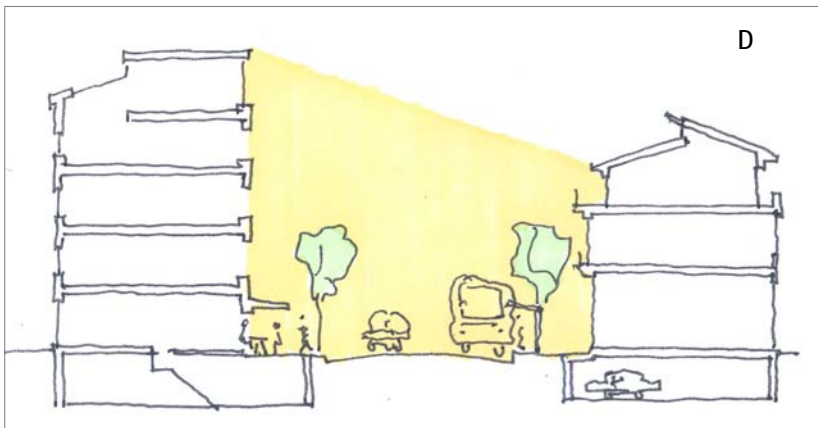
Fig. 3.26: The setback of each dwelling along the street creates a more private front entrance while also making a visually pleasing rhythm that adds character. The carefully planted trees also follow a rhythm and provide valuable screening to upper floors.



Fig. 3.27 Corner windows provide views down the street as well as across and light from two directions. The careful paving and landscaping creates a clear transition from public to private



Fig. 3.28: Crescent form makes pleasant space and addresses sunny orientation. Note generous sizes of balconies—suitable for vari-

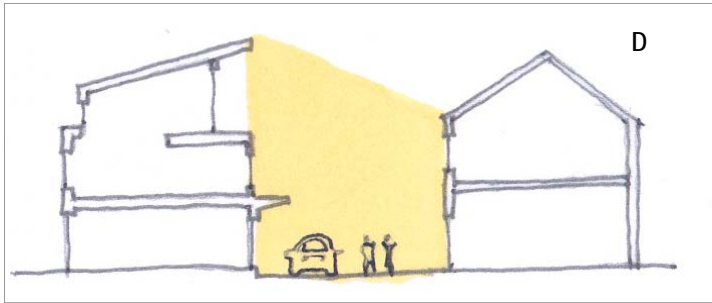
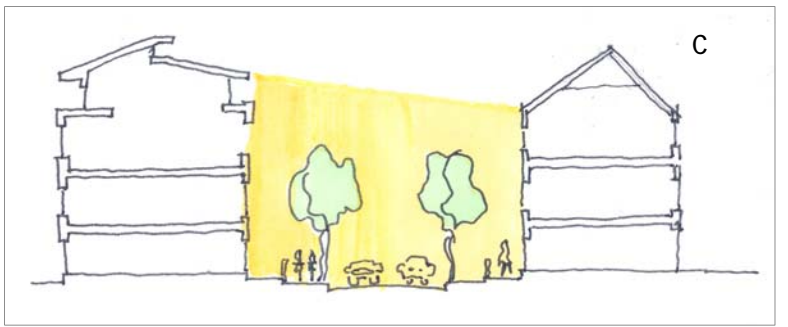


Above sectional diagrams indicate a variety of street widths to building heights which provide good spatial enclosure. Generally, for buildings greater than 3 stories high in the Celbridge AAP, the street width should not be less than the building height. For 2 and 3 storey streets, the street width can be less than building height (not less than 75%).

- A: Typical street width ranges from 18 to 30 metres (could also be a square or civic space)
- B & C: Typical street width ranges from 12 to 18 metres
- D: Typical street width ranges from 7 to 10metres

In summary, the following principles will apply with regard to building within the Town Centre Extension area:

- * Considered relationship between street width and building height in order to achieve good spatial enclosure and shelter within the street/public space, while avoiding excessive shadow onto adjacent buildings and spaces, in particular where uses are located which require a sunny aspect.
- * In general the proportion between street width (width from building façade to building façade) to building height should vary between 1 : 0.75 and 1 : 1.25, while respecting the general building height strategy of primarily 3 stories, with a maximum of 5 stories in selected strategic locations (Ref diagrams below). The impact of building heights on protected views in relation to Castletown will inform appropriate and acceptable heights and development proposals will have to indicate such impact by means of computer generated images, scale models, etc.
- * Fine grain of traditional urban centres—i.e., narrower plot widths and building depths are preferable as they produce more pleasing building proportions, ensure greater activity at street level and facilitate better internal environments in terms of maximising natural light and ventilation.
- * Uses which require large footprints should be broken down to reduce mass/form impact and screened with smaller scale units. Permeability through large blocks should be provided by through routes.
- * Limited palette of high quality materials. Consider the materials performance and appearance over time in addition to careful detailing of the junctions between materials
- * Roofscapes should provide variation and avoid gimmickry and/or awkward profiles
- * Principles of passive design to achieve high energy efficiency levels in new building should be adopted throughout. In particular internal layouts should maximise natural light, including bathroom and kitchens.
- * Diversity of architectural expression within an overall coherent townscape. No single design practice should be responsible for greater than 60 % of the total built area of the Town Centre Extension.

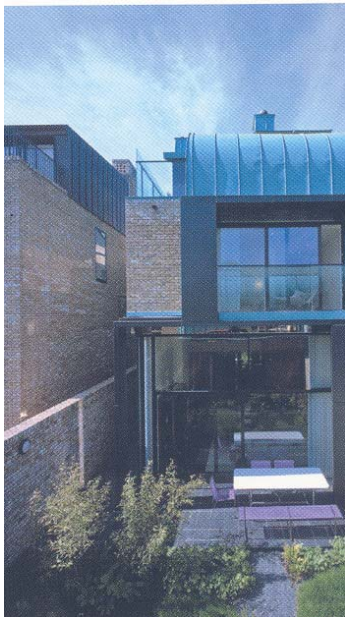


Donaghcumper House

- * Any development of Donaghcumper House should conserve and protect the existing house, gardens and farmyard, respecting the architectural and design character of the whole ensemble. There will be a need to provide an appropriate buffer zone between the amenity/recreational area and Donaghcumper House including its setting.
- * New development in proximity of Donaghcumper House, or built as extensions, should have regard to the existing form, massing and character and should avoid pastiche and gimmickry. Input from appropriately experienced and expert specialists will be required from the outset. Architectural historical and landscape studies should be carried out in advance of design proposals and should inform the design approach. As such there should be an integrated approach to the conservation, adaptation, intervention and/or extension of these historic structures.
- * The outbuildings, stables and walled garden complex within the curtilage of Donaghcumper House is architecturally fine and forms part of the overall architectural ambience. It is desirable that this be retained and integrated within any new use for the House.

New Residential Area

- * The area measures 10.8 hectares. It extends from the entrance road to Donaghcumper House in the west to the boundary with St. Wolstan's in the east. It has frontage onto the Dublin Road and extends northwards to adjoin a section of the riverbank which is zoned as amenity/open space. The design of any new housing developments here will have to take account of the possible impact on Castle-town House and demesne.
- * The current Celbridge Development Plan permits a low density residential development only in this location. Building heights will be restricted to 2 storeys, and advance landscaping required.
- * A contemporary architectural approach is preferable to historicist styles, however simplicity of form and expression, coupled with high quality natural materials will assist in integrating the new housing within the existing landscape and reduce any potential impact on the setting of Casteltown House.
- * Layout of the housing and detail design of individual buildings should employ principles of passive design and so optimise energy efficiency.



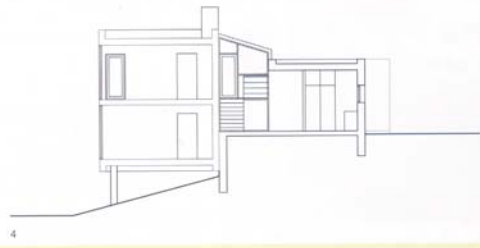
Figs. 3.29 & 3.30 above: high quality contemporary housing scheme in Cambridge, England



Figs. 3.31: Terraced housing scheme, Kent, England



Figs. 3.31 & 3.32 left & below: housing adjacent to water, Holland



Figs. 3.33: right: contemporary house well integrated in the landscape, Denmark



Environmental Strategies

- * Building Design and Layout: a passive design approach is to be taken, in particular with the new development areas. This means consideration of orientation of internal spaces, sizing of window opes with regard to orientation and natural light, depth of buildings and specification of environmental materials and local sources. Assessment of the full life energy costs should be taken into consideration in preparing design and specifying materials.
- * Opportunities for microgeneration of energy resources, for example solar power, geothermal heating or a combination of these, should be assessed for all developments and implemented where appropriate. Also opportunities for renewables and recycling, such as chp, wood pellet boilers, etc., should be addressed. The principle of economies of scale operates for larger schemes in particular.
- * Avoid 'stick-on' approach to environmental design, better to get the design principles right first and then use the developing low energy technologies to supplement
- * Waste Management, needs to be carefully considered from the individual domestic unit to the large retail / commercial operator. Innovative approaches which have been successfully implemented abroad would be encouraged. At minimum, there is a need to ensure adequate space for future recycling demands, consideration of the routes between source and disposal, e.g. apartment and bin area, and careful screening of bin areas.
- * Plenty, well located bicycle parking to be provided throughout the AAP area
- * Surface Water drainage solutions should exploit the potential to use rainwater as a feature within the scheme
- * Information-led approach: Many innovative systems are not sufficiently understood by the end-user and appropriate induction and ongonig information should be made available.



Figs. 3.36 & 3.37: Integration of vacuum waste collection system which allows for separation of waste—neatly integrated within residential schemes in Sweden. These systems can also be accommodated within the circulation cores of apartment blocks so that all refuse collection can be dealt with internally. Systems such as these are now well advanced in European developments and may be appropriate for larger new developments.



Figs. 3.34 & 3.35 (above and right): Incorporation of photo-voltaic cells as part of the architectural façade treatment of apartment block, Sockholm, Sweden



Figs. 3.38, 3.39, 3.40, 3.41. & 3.42 (above left, centre, right and below, right) : Examples of innovative methods of harvesting rainwater in large new developments as part of the overall landscape treatment of the public spaces, in addition to the environmental benefits of reducing surface water collection requirements and implications. Such an approach requires integrated design solutions.



Function and Use Strategies

Existing Town Centre and Town Centre Extension

- * A broad range of uses will be encouraged to ensure Celbridge Town Centre provides the range of uses and local employment to secure its viability into the future as a sustainable urban centre.
- * A broad mix of uses and diversity of accommodation is required therefore, for the healthy and successful functioning of both the Existing and Town Centre Extension areas.
- * Should the existing St. Brigid's School relocate, any redevelopment of the site should conform to the existing land use zoning objective, i.e. Community/Education.
- * With regard to the Town Centre Extension, Section 4 sets out specific requirements for the required percentage of residential to non-residential uses.
- * With regard to non-residential accommodation mix, a variety of unit sizes and types will be encouraged. This includes size, location (ground floor, upper floors, different areas throughout both Town Centre areas), tenure arrangements, convenience and comparative retail, etc., to ensure Celbridge offers a broad range of services, located to service the local community and avail of views, active areas, etc. (e.g. two level restaurant overlooking river).
- * Uses providing medical, creche, education (lifelong learning), leisure, etc., will be encouraged in addition to retail and commercial.
- * The Town Centre Extension is to provide a building of local cultural and civic significance and use in a location which is easily accessible by all, opens onto a public space, preferably one of the more active and prominent public spaces, and can be easily reached from the Existing Town Centre. Following consultation with the Local Area Committee, the need for a building to house a Civic Theatre, exhibition space and accommodate a local Area Office was identified. This should be a building of high architectural and environmental quality.
- * Residential uses within the Town Centre Extension should conform to the following:
 - ◇ provide a variety of apartment types and sizes
 - ◇ Conform to standards set out in Section 4 with regard to minimum sizes, percentages for different unit types, etc.
 - ◇ All residences should have access to private open areas which receive sun
 - ◇ All residences to be dual aspect
 - ◇ Adequate light should be available to all rooms, including kitchens and, where possible, bathrooms. Particular attention should be paid to the quality of light in living rooms and orientation of windows. High ceilings increase the perception of space and the penetration of light and they are to be recommended. Opportunities for the introduction of interesting volumes, double height spaces etc., should be taken wherever possible and relevant.
 - ◇ Balconies, winter gardens, terraces, etc., are to be designed to be useable and relate well to internal layouts. Designs should minimise negative shading of projecting balconies on lower residences
 - ◇ Internal layouts should provide generous and useful storage areas and should identify areas for study and play - in addition to traditional bedroom, living, kitchen, bathroom functions,
- * In addition to a diversity of uses, it is also required that the Town Centres will accommodate a range of residential tenure. In this regard, it is desirable that the Part V social and affordable housing provision required for the area, be provided within the Town Centre area. It should also be accommodated throughout the area rather than within a single zone



Fig. 3.43: The setback of each dwelling along the street creates a more private front entrance while also making a visually pleasing rhythm that adds character. The carefully planted trees also follow a rhythm and provide valuable screening to upper floors.



Fig. 3.44: Terraced housing can provide an attractive and high quality living space if designed carefully and with expertise.

- * Architectural treatment of all residential areas should be of consistent quality. The principles of 'blind tenure' will be applied throughout the AAP area.
- * Avoid locating uses close together where there may be incompatibilities, eg. Late-night noise and residential uses. In this regard also, residential uses at ground floor/street level should be avoided in the more active areas. Careful consideration should be given to the boundaries between public and private realms, particularly for ground floor residential units.
- * In design of residential developments, both housing and apartments, consideration is to be given to future adaptability of the units for full accessibility. In doing this, occupants will have the choice to remain in the same home throughout life, should they wish. Equally, there will be greater choice for people who wish to relocate within the same general area.
- * Duplex apartments will only be permitted where the designs successfully address issues of access to upper floors, overlooking and size of private space and other elements of conflict which arise where duplex units are located above or under single level units.

Donaghcumper House

- * Any proposed change of use must ensure compatibility with the historic house and grounds and will be assessed against the particular impact such a use will have on the architectural and landscape heritage.
- * To ensure the ongoing protection of Donaghcumper House and its outbuildings, it is important that it continues in active use. While it is understood that a viable long-term use may not be readily identified and secured in the short-term, it will be required that an interim use is provided—such that this use does not negatively impact on the architectural heritage of the place.

New Residential Area

- * This area is likely to be exclusively residential. There is an opportunity here to provide a quality of residential accommodation which will contribute to the social balance desired for the entire AAP area. Good physical links with the Town Park riverside walk and Town Centre Extension are essential to ensure this area does not become an exclusive enclave.

Macro and Micro

- * These strategies relate to the relationship between the AAP area, in particular the Town Centre Extension, and the wider North Kildare area and the Greater Dublin region. All developments must fit within existing development policy and guidance for these wider areas.
- * Macro level concerns also relate to views of the area from without and views from within the area out. The protected views relating to the Castletown House demesne must be observed in this regard. Also, development proposals must be presented within the context of distant views of the scheme, showing skyline, roof profiles, scale, bulk, landscape screening, etc. Such views should show the impact of seasonal variations.
- * Micro-level concerns include the micro-climate issues of the public realm, such as sun, shade, shelter, etc, in addition to the views to be created within the AAP area, in particular the new development areas. Development proposals must be accompanied with appropriate surveys, diagrams, documentation etc., to clearly indicate the quality of micro-level environment of the public realm.